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Home Inspection Report

Prepared For:

Future Buyer

Property Address:

Your Future Home

VT

Inspected on Thu, Jun 28 2018 at 2:24 PM

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Congratulations on buying your new home.

The process can be stressful. A home inspection is supposed to give you peace of mind, but often has the opposite effect. You will be asked to absorb a lot of information in a short time. This often includes a written report, checklist, photographs, environmental reports, and what the inspector himself says during the inspection. All this combined with the seller's disclosure and what you notice yourself makes the experience even more overwhelming. What should you do?

Relax. Most of your inspection will be maintenance recommendations, life expectancies and minor imperfections. These are nice to know about. However, the issues that really matter will fall into four categories:

1. Major defects. An example of this would be a significant structural failure.
2. Things that may lead to major defects. A small water leak coming from a piece of roof flashing, for example.
3. Things that may hinder your ability to finance, legally occupy, or insure the home. Structural damaged caused by termite infestation, for example.
4. Safety hazards. Such as a lack of GFCI-protection.

Anything in these categories should be corrected. Often a serious problem can be corrected inexpensively to protect both life and property (especially in categories 2 and 4). Most sellers are honest and are often surprised to learn of defects uncovered during an inspection. Realize that sellers are under no obligation to repair everything mentioned in the report. No home is perfect.

Keep things in perspective. Don't kill your deal over things that don't matter. It is inappropriate to demand that a seller address deferred maintenance, conditions already listed on the seller's disclosure, or nit-picky items.

TO BE CONCISE, the following phrases have been used in the report to identify systems or components that need your attention prior to closing or purchasing the property:

MONITORING RECOMMENDED: Denotes a system or component needing further evaluation and/or close observation in order to determine if correction is needed.

IMPROVEMENT AND REPAIR RECOMMENDED: Denotes a system or component that should receive normal maintenance, repair, or adjustment in order to function properly.

CORRECTION AND FURTHER EVALUATION RECOMMENDED: Denotes a system or component that is significantly deficient or at the end of its service life, and needs corrective action by a professional. We recommend the professional making any corrective action to inspect the property further (further evaluation), in order to discover and repair related problems that were not identified in the report. All corrections and evaluations must be made prior to closing or purchasing the property.

General

Property Type:	Single Family
Stories:	Two
Approximate Age:	1860
Bedrooms/Baths:	3/2
Furnished:	Yes
Occupied:	Yes
Weather:	Drizzle
Temperature:	Warm
Soil Condition:	Damp
Utilities On During Inspection:	Electric Service, Gas Service
People Present:	Client, Buyer's Agent

Site

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Site Grading:	Mostly Level Condition: SATISFACTORY
Vegetation:	Not Growing Against Structure Condition: SATISFACTORY
Retaining Walls:	Not Present
Driveway:	Asphalt Condition: MONITORING RECOMMENDED



(Site continued)

Walkways:	Gravel Condition: SATISFACTORY
Steps/Stoops:	Wood Condition: SATISFACTORY
Patios/Decks:	Wood Condition: SATISFACTORY

Roofing

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy. We are not professional roofers. Feel free to hire one prior to closing. We do our best to inspect the roof system within the time allotted. We inspect the roof covering, drainage systems, the flashings, the skylights, chimneys, and roof penetrations. We are not required to inspect antennae, interiors of flues or chimneys which are not readily accessible, and other installed accessories. This is not an exhaustive inspection of every installation detail of the roof system according to the manufacturer's specifications or construction codes. It is virtually impossible to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our inspection. We recommend that you ask the sellers to disclose information about the roof, and that you include comprehensive roof coverage in your home insurance policy.

Inspection Method:	From Ground with Binoculars
Roof Design:	Gable
Roof Covering:	Concrete Tile, Metal, Asphalt Shingle Condition: MONITORING RECOMMENDED

(Roofing continued)



Comment 1:

Portions of the roof had accelerated deterioration because of a missing gutter. Water falling on roof was causing mechanical damage of shingles. Granular run off can be seen in lower gutter system. Small areas of uplift on upper portion of roof was visible. Seller states architectural shingles to be 9 years old. Architectural shingles have an expected lifespan of 30-35 years. Recommend repairing damaged shingles over entrance way and replacing missing gutter system. Monitoring shingle roof annually is recommended to maintain the shingles water shedding function. Portions of the shingle roof were not visible and not inspected.



Figure 1-1



Figure 1-2

(Roofing continued)



Figure 1-3

Approximate Roof Age:	9 Years
Ventilation Present:	Soffit, Ridge Vents Condition: SATISFACTORY
Vent Stacks:	Plastic Condition: SATISFACTORY
Chimney :	Brick Condition: SATISFACTORY
Sky Lights:	Not Present
Flashings:	Metal Condition: MONITORING RECOMMENDED

(Roofing continued)



Comment 2:
Small areas of rust on metal roof flashing. Recommend monitoring annually.



Figure 2-1



Figure 2-2



Figure 2-3

Soffit and Fascia:

Aluminum, Vinyl
Condition: SATISFACTORY

(Roofing continued)

Gutters & Downspouts:

Metal, Plastic

Condition: IMPROVEMENT AND REPAIR
RECOMMENDED



Comment 3:

Missing gutter system. Replacing missing gutter system is recommended to avoid mechanical damage of lower roof from falling water.



Figure 3-1

Chimney

We are not certified chimney professionals. Only a level two inspection performed by a CSIA (Chimney Safety Institute of America) certified chimney sweep can determine the condition of the flue and whether the fireplace is safe to use.

We recommend a cleaning and level two inspection of the fireplaces and chimney flues before closing. Clean chimneys don't catch on fire. More information about fireplaces and chimneys can be obtained at www.csia.com

Chimney:

Condition: SATISFACTORY

Fireplace:

Not Present

Exterior

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building. We are not exterior experts. Feel free to hire an exterior contractor prior to closing. Water can be destructive and foster conditions that can be harmful to health. For this reason, the ideal property will have the ground around the foundation perimeter that slopes away from the residence about 6 inches for the first 10 feet from the foundation. And the interior floors will be several inches higher than the exterior grade. Also, the residence will have roof gutters and downspouts that discharge into drains or trays that carry or divert water away from the foundation. The sellers or occupants will have a more intimate knowledge of the site than we will have during our limited visit. Recommend asking the seller about water problems including but not limited to water puddles in the yard, gutter or downspout problems, water penetration into the lowest level of the structure, and drainage systems. Recommend closely monitoring and inspecting the exterior during a heavy rainstorm to observe the way the surface water is managed. Standing puddles near the house foundation are to be avoided.

Exterior Covering:	Vinyl Siding Condition: SATISFACTORY
Exterior Trim Material:	Vinyl Condition: SATISFACTORY
Windows:	Wood, Vinyl Condition: SATISFACTORY
Entry Doors:	Wood Condition: SATISFACTORY
Balconies:	Not Present
Railings:	Not Present

 **Comment 4:**
Recommend monitoring windows located near grade for water intrusion.
Recommend adding window well covering.

(Exterior continued)



Figure 4-1

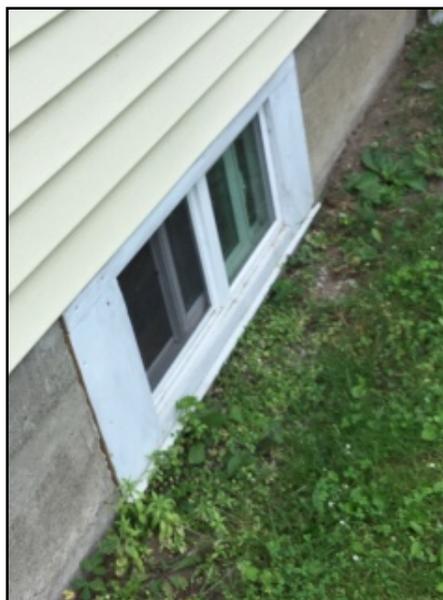


Figure 4-2

Structure

The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection. We are not structural engineers. Feel free to hire one prior to closing to consult with and address concerns that you have with the property, even if I do not identify any structural material defects. We inspect the structural components including foundation and framing by probing a representative number of structural components where deterioration is suspected or where clear indications of possible deterioration exist. Probing is not required when probing would damage any finished surface or where no deterioration is visible.

Foundation Types:

Basement

Foundation Material:

Stone

Condition: MONITORING RECOMMENDED

(Structure continued)



Comment 5:

Stone foundation was well maintained. Showing small areas of spalling. Maintaining foundation throughout life of house is important to prevent water intrusion and degradation. Recommend monitoring.



Figure 5-1



Figure 5-2



Figure 5-3



Figure 5-4

Signs of Water Penetration:

Dampness

Condition: SATISFACTORY

(Structure continued)

Prior Waterproofing:

Surface Patches

Condition: MONITORING RECOMMENDED

Floor Structure:

Wood Frame, Truss

Condition: CORRECTION AND FURTHER EVALUATION RECOMMENDED



Comment 6:

Beam jacks were improperly secured at time of inspection. Beams were improperly notched in mid-third of span. Properly installed columns, beam jacks, associated hardware, and supports for notching is recommended to ensure and maintain long term structural integrity of structure. No obvious signs of structural movement was seen throughout house. A comprehensive structural analysis is outside the scope of a inspection and buyer should seek further evaluation. Recommend correction of posts and columns to a manufactured and engineered product and installing to manufacturers specifications. Installation by professional installer is recommended.



Figure 6-1



Figure 6-2

(Structure continued)



Figure 6-3

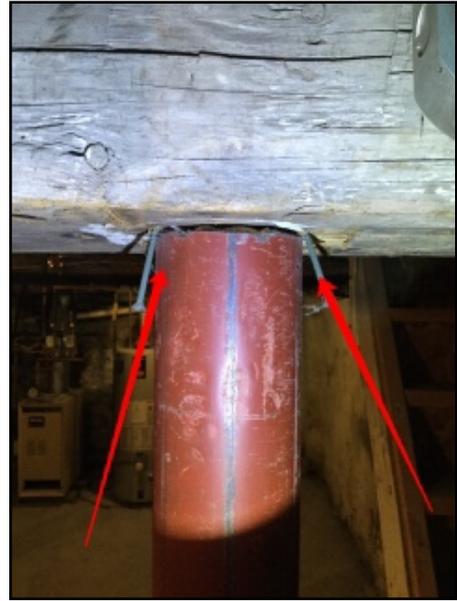


Figure 6-4



Figure 6-5



Figure 6-6

(Structure continued)



Figure 6-7



Figure 6-8

Subflooring:	Plywood, Solid Wood Plank Condition: SATISFACTORY
Wall Structure:	Wood Frame Condition: SATISFACTORY

Attic

Attic Entry:	Hallway
Roof Framing Type:	Wood Trusses Condition: SATISFACTORY



Comment 7:

Added support has been fastened to rafters. This is not a defect but because of the structures age care should be taken to monitor roofing components throughout ownership of the home.

(Attic continued)



Figure 7-1



Figure 7-2



Figure 7-3



Figure 7-4

Roof Deck Material:

Solid Wood Plank

Condition: SATISFACTORY

Vent Risers:

PVC

Condition: SATISFACTORY

Insulation:

Blown In Cellulose

Condition: SATISFACTORY

HVAC

Thermostat:

Digital

Condition: SATISFACTORY



(HVAC continued)

Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question. We are not HVAC professionals. Feel free to hire one prior to closing. This inspection of the heating system is a visual inspection using only the normal operating controls for the system. The inspection of the heating is general and not technically exhaustive. A detailed evaluation of the interior components of the heating system is beyond the scope of a home inspection. We do not inspect the humidifier or dehumidifier, the electronic air filter, and determine heating supply adequacy or distribution balance. We do not operate the heating system when the air temperature is too hot, to prevent damaging the unit. It is essential that any recommendation that we make for service, correction, or repair be scheduled prior to closing or purchasing the property, because the hired-professional could reveal defects or recommend further repairs that could affect your evaluation of the property. Note: Health is a deeply personal responsibility. You should have the air quality tested and the ductwork or baseboards cleaned as a prudent investment in environmental hygiene, especially if any family member suffers from allergies or asthma.

Location:

Basement

Type of Equipment:

Boiler

Condition: IMPROVEMENT AND REPAIR
RECOMMENDED

(Heating continued)



Comment 8:

Improper installation of expansion tank was located on heating equipment. Improperly installed equipment can increase likelihood of component failure and reduce functionality. Correction by qualified plumber is recommended.



Figure 8-1

Heating Fuel:

Gas

Condition: SATISFACTORY

Approximate Age:

Unknown

Type of Distribution:

Pipes

Condition: SATISFACTORY

TPR/Blow Off Leg:

Condition: CORRECTION AND FURTHER
EVALUATION RECOMMENDED

(Heating continued)



Comment 9:

Discharge pipe was not installed on boiler relief valve at time of inspection. Discharge pipes are used to prevent the spray of scalding water from relief valves and should be installed to terminate no more than 6 inches from floor. Installation of discharge pipe by plumber is recommended.



Figure 9-1

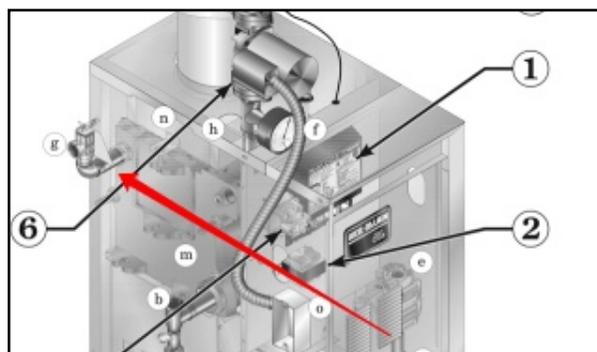


Figure 9-2

Furnaces over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Plumbing

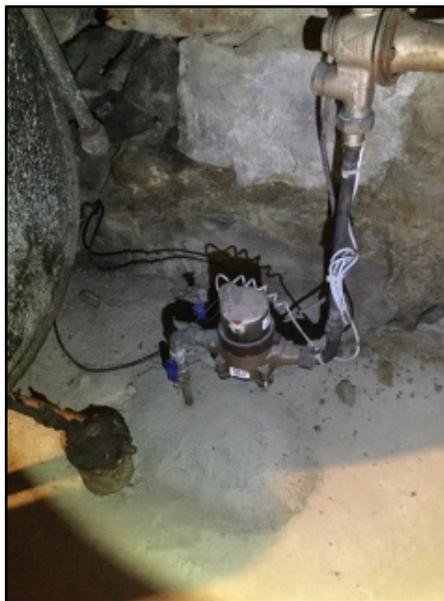
The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection. We are not professional plumbers. Feel free to hire one prior to closing. All bathroom fixtures, including toilets, tubs, showers, and sinks are inspected. Approximately 15 minutes of water is run at each fixture. Readily visible water-supply and drain pipes are inspected. Plumbing access panels that we can find are opened, if readily accessible and available to open. We do not perform water leak tests on drain lines or shower pans. We simply look for active leaks, which is quite limited by our short time in the property.

Water Service:

Public

Water Meter:

Condition: SATISFACTORY



Waste Pipe Material:

Cast Iron

Condition: SATISFACTORY

Supply Pipe Material:

Copper

Condition: SATISFACTORY

Location of Main Water Shutoff:

At Meter

Sewer System:

Public

Sump Pump:

Not Present

Location of Fuel Shutoff:

At Equipment

(Plumbing continued)



Comment 10:

Second floor bathroom had improper S trap. S traps can self siphon and allow sewer gases to enter home. Correction of S trap by professional is recommended.



Figure 10-1

Water Heater

There are a wide variety of residential water heaters. They can be expected to last at least as long as their warranty, or from five to eight years, but they will generally last longer. However, few of them last longer than fifteen or twenty years and many eventually leak.

Manufacturer:	Bradford White
Fuel:	Natural Gas
Capacity:	50 gal
Approximate Age:	9 Years
Temp & Pressure Relief Valve:	Present With Blow Off Leg
Fuel Disconnect:	Condition: SATISFACTORY Within Sight of Equipment

Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation. We are not electricians. Feel free to hire an electrician prior to closing. If we feel that it is safe enough to open the electrical panel, we will check the interior components of service panels and sub panels, the conductors, and the over-current protection devices. Inside the house, we will check a representative number of installed lighting fixtures, switches, and receptacles. This is not an exhaustive inspection of every component and installation detail. There will be receptacles and switches and lights that we will not have time to inspect. Ask property owner about all of the wall switches. Therefore, it is essential that any recommendations that we may make for correction should be completed before the close of escrow, because an electrician could reveal other problems or recommend repairs.

Type of Service:

Overhead



Service Panel Ground:

Cold Water Pipe, Ground Rod

Main Disconnect Location:

Service Panel

Service Panel Location:

Basement

Service Line Material:

Aluminum

Condition: SATISFACTORY

Service Amperage:

200 amps

Branch Circuit Wiring:

Non-Metallic Shielded Copper

Condition: SATISFACTORY

(Electrical continued)

Overcurrent Protection:

Breakers

Condition: SATISFACTORY

GFCI/AFCI Breakers:

Condition: CORRECTION AND FURTHER EVALUATION
RECOMMENDED



Comment 11:

Missing or broken GFCI outlets were present at time of inspection in both bathrooms. GFCI outlets should be used in bathrooms, kitchen counters, the exterior outlets, and any location where water is present and can contact the outlet or devices being used by the outlet. Broken GFCI outlets will not protect from accidental electrical shock. Repair of GFCI outlets in required places to avoid injury by electrical shock is recommended



Figure 11-1



Figure 11-2

Smoke Detectors:

9 volt Battery Type, Hard Wired

Condition: SATISFACTORY

(Electrical continued)



Comment 12:

Open ground condition was present on several outlets at time of inspection. Proper grounding is important to avoid accidental electric shocks which can cause injury or death. Recommend further evaluation and correction by licensed electrician.



Figure 12-1



Figure 12-2

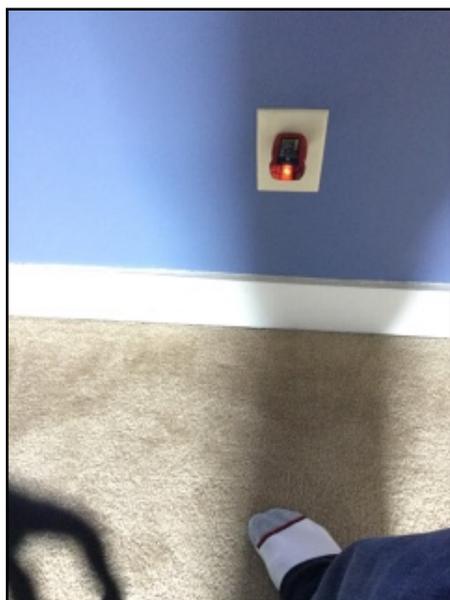


Figure 12-3

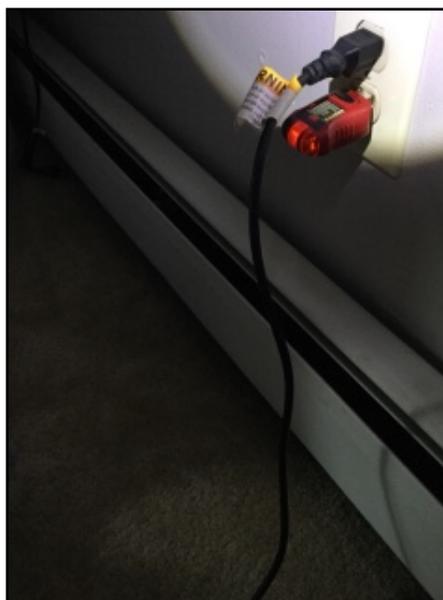


Figure 12-4

(Electrical continued)

 Comment 13:
Unsecured wires were present in basement and around electrical panel. The insulation on several wires was severely deteriorated. Recommend further evaluation of electrical components and repair by licensed electrician.

Bathrooms

We are not plumbers. Feel free to hire a plumber prior to closing. All bathroom fixtures, including toilets, tubs, showers, and sinks are inspected. Approximately 15 minutes of water is run at each fixture. Readily visible water-supply and drain pipes are inspected. Plumbing access panels are opened, if readily accessible and available to open. Normal foot pressure is applied around the base of each toilet, tub, and shower to check for deteriorated flooring. Normal hand pressure is applied carefully to the walls of each shower to check for deterioration. Re-grouting and sealant around the tub shower, and fixtures should be considered routine maintenance. We do not perform water leak tests on drain lines or shower pans. We simply look for active leaks, which is quite limited by our short time in the property.

Bedrooms

Kitchen

We check some of the appliances only as a courtesy to you. Appliances are not within the scope of a home inspection. We are not required to inspect the kitchen appliances. We do not evaluate them for their performance nor for the accuracy of their settings or cycles. Appliances break. We assume no responsibility for future problems with the appliances. If they are older than ten years, they may well exhibit decreased efficiency. Also, many older ovens are not secured to the wall to prevent tipping. Be sure to check the appliance, especially if children are in the house. We recommend installing a minimum five pound ABC-type fire extinguisher mounted on the wall inside the kitchen area.

Cabinets:	Wood Condition: SATISFACTORY
Countertops:	Granite, Stone Condition: SATISFACTORY
Sink:	Double Condition: SATISFACTORY

Interior

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. We check only a representative number of doors and windows. We are not required to inspect the paint, wallpaper, the carpeting, the window treatments and screens. We do not move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on cosmetic deficiencies. We may not comment on the cracks that appear around windows and doors, or which follow the lines of framing members and the seams of drywall and plasterboard. These cracks are usually a consequence of movement, such as wood shrinkage and common settling, and will often reappear. We do not report on odors from pets and cigarette smoke.

Floors:	Tile, Carpet, Wood Condition: SATISFACTORY
Walls:	Painted Drywall, Textured Over Drywall Condition: SATISFACTORY
Window Types:	Double Hung Condition: SATISFACTORY
Window Materials:	Wood, Aluminum

(Interior continued)

Entry Door Types:	Hinged Condition: SATISFACTORY
Entry Door Materials:	Wood
Interior Door Materials:	Wood
Fireplace:	Not Present

Garage

We do not evaluate or measure the fire-ratings of the drywall/plaster in the garage or the rating of the door between the garage and the house. Different townships require different ratings. Ideally, there should be a 5/8-inch Type X drywall or equivalent on the walls and ceiling that separate the garage from habitable rooms. And a 20-minute fire-rated door separating the house and garage. We check for breaches of the firewall. We do not pressure test the garage door openers.

Garage Type:	Detached Condition: CORRECTION AND FURTHER EVALUATION RECOMMENDED
Garage Size:	1.5 Car
Door Opener:	Chain Drive Condition: CORRECTION AND FURTHER EVALUATION RECOMMENDED
Opener Safety Feature:	Not Present



Comment 14:

No door opener safety feature was present at time of inspection. Lack of safety feature can cause accidental crushing and serious injury. Recommend professional installation of safety feature by garage door specialist. Improper installed garage doors are dangerous. Garage doors are notoriously difficult items for homeowners to fix. Maintenance and repair should only be performed by a garage door specialist.

(Garage continued)



Comment 15:

Sagging truss was obvious at time of inspection. Sagging ridge line was also obvious at time of inspection. Joist hangers or were not installed on all joists. Trusses were not engineered products and were installed using various pieces of particle board. Strong indications of a non professional installation due to previously stated observations. Failure of any truss component could result in a dangerous condition, injury, or damage to stored items. A comprehensive structural analysis is beyond the scope of a home inspection and further evaluation is recommended. Design of trusses and roof structure of garage should be evaluated by structural engineer or professional building contractor.



Figure 15-1



Figure 15-2

(Garage continued)



Figure 15-3



Figure 15-4



Figure 15-5



Figure 15-6

(Garage continued)



Figure 15-7

Report Summary

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney.

Roof Covering

1) Portions of the roof had accelerated deterioration because of a missing gutter. Water falling on roof was causing mechanical damage of shingles. Granular run off can be seen in lower gutter system. Small areas of uplift on upper portion of roof was visible. Seller states architectural shingles to be 9 years old. Architectural shingles have an expected lifespan of 30-35 years. Recommend repairing damaged shingles over entrance way and replacing missing gutter system. Monitoring shingle roof annually is recommended to maintain the shingles water shedding function. Portions of the shingle roof were not visible and not inspected.



Figure 1-1



Figure 1-2

(Report Summary continued)



Figure 1-3

Flashings

2) Small areas of rust on metal roof flashing. Recommend monitoring annually.



Figure 2-1



Figure 2-2

(Report Summary continued)



Figure 2-3

Gutters & Downspouts

3) Missing gutter system. Replacing missing gutter system is recommended to avoid mechanical damage of lower roof from falling water.



Figure 3-1

(Report Summary continued)

Floor Structure

4) Beam jacks were improperly secured at time of inspection. Beams were improperly notched in mid-third of span. Properly installed columns, beam jacks, associated hardware, and supports for notching is recommended to ensure and maintain long term structural integrity of structure. No obvious signs of structural movement was seen throughout house. A comprehensive structural analysis is outside the scope of a inspection and buyer should seek further evaluation. Recommend correction of posts and columns to a manufactured and engineered product and installing to manufacturers specifications. Installation by professional installer is recommended.



Figure 6-1



Figure 6-2

(Report Summary continued)



Figure 6-3



Figure 6-4



Figure 6-5



Figure 6-6

(Report Summary continued)



Figure 6-7



Figure 6-8

Type of Equipment

5) Improper installation of expansion tank was located on heating equipment. Improperly installed equipment can increase likelihood of component failure and reduce functionality. Correction by qualified plumber is recommended.



Figure 8-1

(Report Summary continued)

TPR/Blow Off Leg

6) Discharge pipe was not installed on boiler relief valve at time of inspection. Discharge pipes are used to prevent the spray of scalding water from relief valves and should be installed to terminate no more than 6 inches from floor. Installation of discharge pipe by plumber is recommended.



Figure 9-1

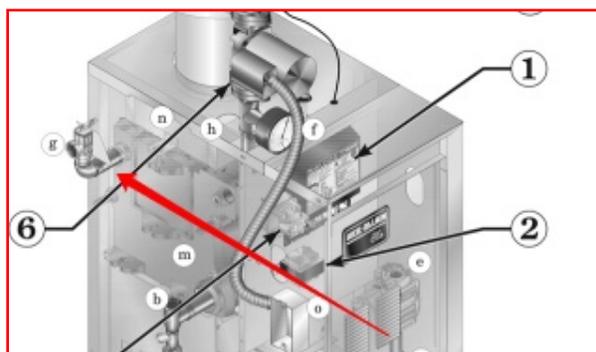


Figure 9-2

Plumbing

7) Second floor bathroom had improper S trap. S traps can self siphon and allow sewer gases to enter home. Correction of S trap by professional is recommended.

(Report Summary continued)



Figure 10-1

GFCI/AFCI Breakers

8) Missing or broken GFCI outlets were present at time of inspection in both bathrooms. GFCI outlets should be used in bathrooms, kitchen counters, the exterior outlets, and any location where water is present and can contact the outlet or devices being used by the outlet. Broken GFCI outlets will not protect from accidental electrical shock. Repair of GFCI outlets in required places to avoid injury by electrical shock is recommended



Figure 11-1



Figure 11-2

(Report Summary continued)

Electrical

9) Open ground condition was present on several outlets at time of inspection. Proper grounding is important to avoid accidental electric shocks which can cause injury or death. Recommend further evaluation and correction by licensed electrician.



Figure 12-1



Figure 12-2

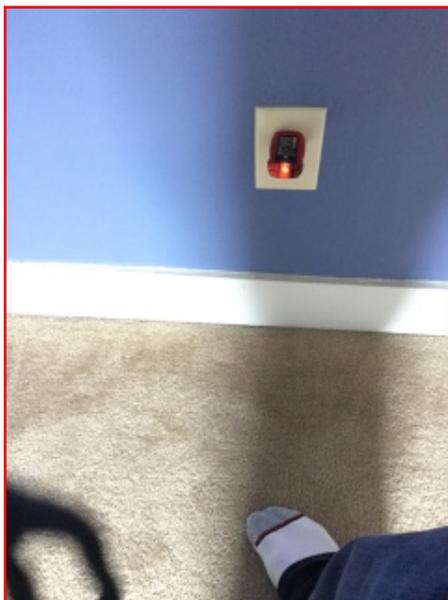


Figure 12-3



Figure 12-4

(Report Summary continued)

10) Unsecured wires were present in basement and around electrical panel. The insulation on several wires was severely deteriorated. Recommend further evaluation of electrical components and repair by licensed electrician.

Opener Safety Feature

11) No door opener safety feature was present at time of inspection. Lack of safety feature can cause accidental crushing and serious injury. Recommend professional installation of safety feature by garage door specialist. Improper installed garage doors are dangerous. Garage doors are notoriously difficult items for homeowners to fix. Maintenance and repair should only be performed by a garage door specialist.

Garage

12) Sagging truss was obvious at time of inspection. Sagging ridge line was also obvious at time of inspection. Joist hangers or were not installed on all joists. Trusses were not engineered products and were installed using various pieces of particle board. Strong indications of a non professional installation due to previously stated observations. Failure of any truss component could result in a dangerous condition, injury, or damage to stored items. A comprehensive structural analysis is beyond the scope of a home inspection and further evaluation is recommended. Design of trusses and roof structure of garage should be evaluated by structural engineer or professional building contractor.



Figure 15-1



Figure 15-2

(Report Summary continued)

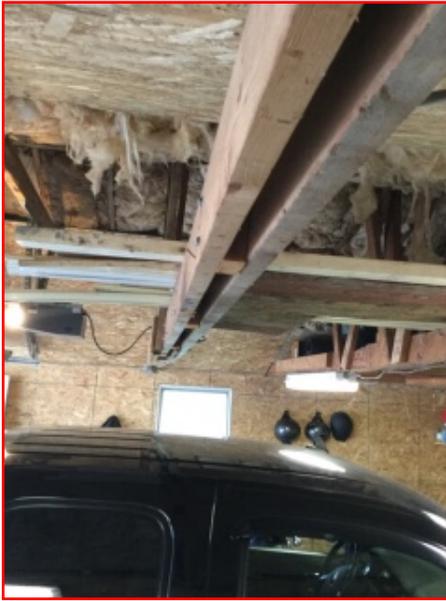


Figure 15-3



Figure 15-4



Figure 15-5



Figure 15-6

(Report Summary continued)



Figure 15-7

CONCLUSION:

We are proud of our service, and trust that you will be happy with the quality of our report. We have made every effort to provide you with an accurate assessment of the condition of the property and its components and to alert you to any significant defects or adverse conditions. However, we may not have tested every outlet, and opened every window and door, or identified every problem. Also because our inspection is essentially visual, latent defects could exist. We can not see behind walls. Therefore, you should not regard our inspection as a guarantee or warranty. It is simply a report on the general condition of a property at a given point in time. As a homeowner, you should expect problems to occur. Roofs will leak, basements may have water problems, and systems may fail without warning. We can not predict future events. For these reasons, you should keep a comprehensive insurance policy current. This report was written exclusively for our Client. It is not transferable to other people. The report is only supplemental to a seller's disclosure.

Thank you for taking the time to read this report, and call us if you have any questions. We are always attempting to improve the quality of our service and our report.